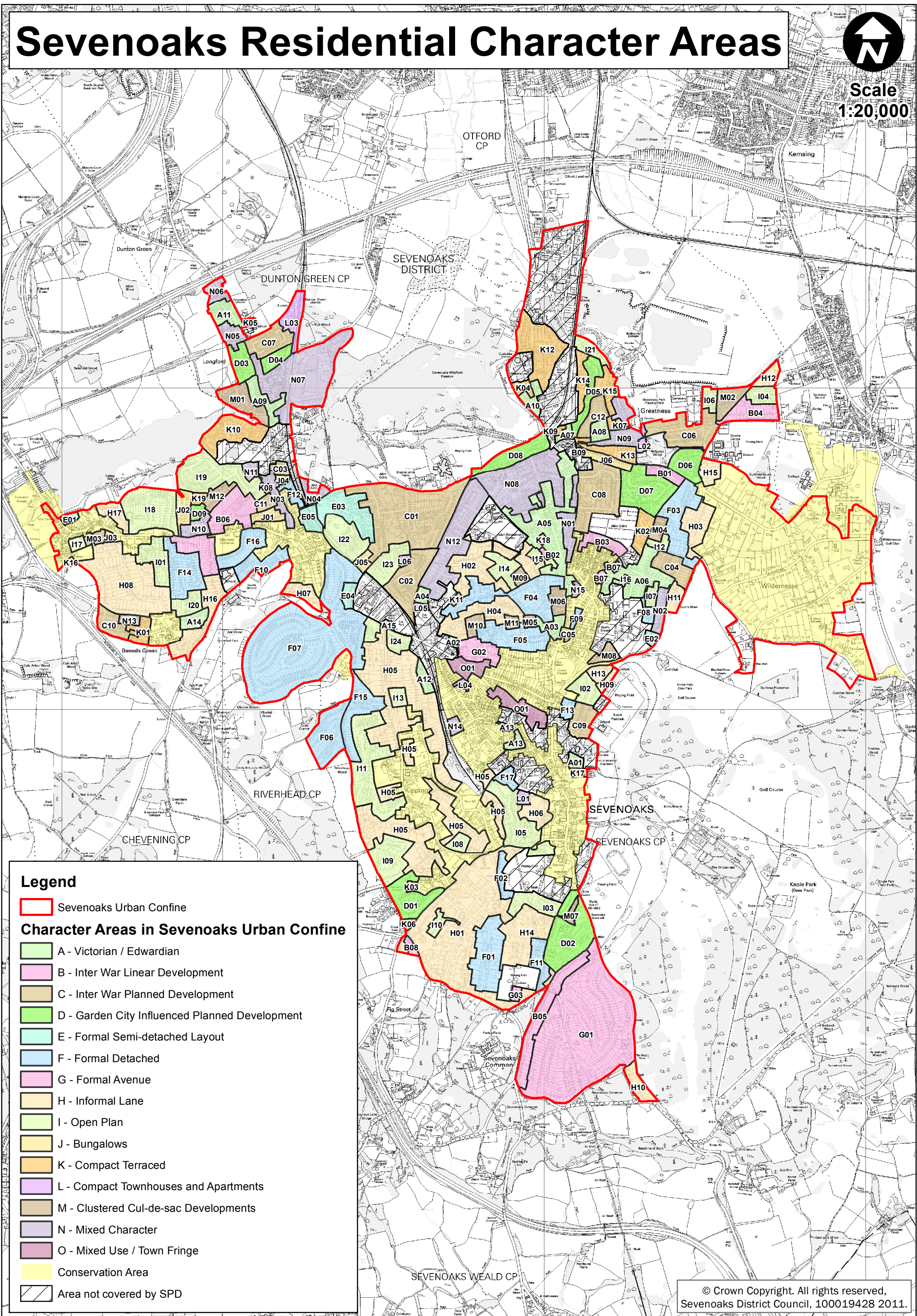


Appendix 2 – Map of areas covered



















Sevenoaks Residential Character Areas



Scale
1:20,000



Legend

-  Sevenoaks Urban Confine
- Character Areas in Sevenoaks Urban Confine**
-  A - Victorian / Edwardian
-  B - Inter War Linear Development
-  C - Inter War Planned Development
-  D - Garden City Influenced Planned Development
-  E - Formal Semi-detached Layout
-  F - Formal Detached
-  G - Formal Avenue
-  H - Informal Lane
-  I - Open Plan
-  J - Bungalows
-  K - Compact Terraced
-  L - Compact Townhouses and Apartments
-  M - Clustered Cul-de-sac Developments
-  N - Mixed Character
-  O - Mixed Use / Town Fringe
-  Conservation Area
-  Area not covered by SPD

Appendix 3 – New Proposed Sections

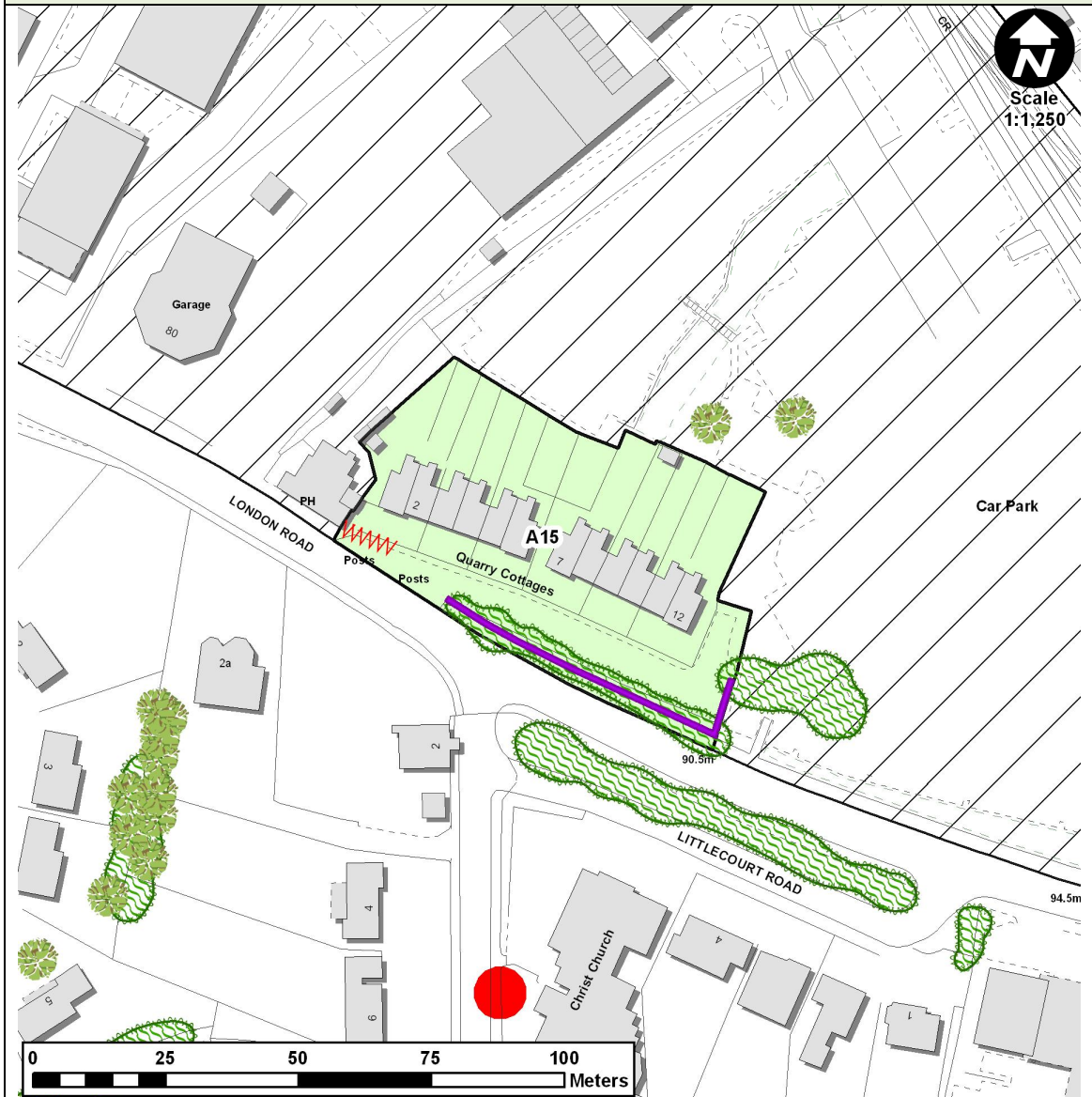
A15 – Quarry Cottages

Comprising Quarry Cottages

HISTORICAL CONTEXT

Cottages built in the early 1990s for railway workers around the same time as those within Holyoake Terrace. The private road is still owned by the train operating company.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	Early 1900s
Type of buildings	Terraced cottages
Main uses	Residential
Building heights	2 storeys
Prominent building materials	Red brick, white painted pebble dashed render and red roof tiles
Predominant boundary treatments	Housing set back behind front gardens (often paved), low walled or fenced boundaries
Open space/ Vegetation	Some planting in front gardens, trees and planting along boundary with London Road. Some TPOs.

Area Characteristics



Two terraces of 6 dwellings side by side set on a regular building line. The cottages are set back from London Road along a private road still owned by the train operating company.

Both terraces use the same materials including red brick and white painted pebble dashed render.

Detailing



The ends of each terrace have gable fronts with detailing.

The end dwellings of each terrace have double chimneys to the side.

The tiles along the roof ridge have a distinctive pattern.

Important Boundaries



The terraces are set back off London Road and separated by a low wall, fencing, trees and planting.

The private road previously led to the station car park, however it has now been blocked off and this presents an important boundary separating the cottages from the car park.

Detractors



The unattractive rusted bollards are unsightly and contrary to the character of the area.

Locally Distinctive Positive Features
Cohesive pair of terraces with matching design
Harmonious range of limited materials
Detailing on gables and roof ridge
Trees and planting provide important boundary and partial screening from London Road

Negative Features
Proximity to London Road with associated congestion and noise

Unattractive rusted bollards

Some replacement windows and doors

Design Guidance

The early 1900 terraced nature of this small area leaves very little scope for new development and the area is expected to remain relatively unchanged, as it has done since it was first built.

Any alterations to the dwellings should be in keeping with the original design. The type and colour of materials should be maintained including the white render, red bricks and red roof tiles with patterned ridge.

Traditional design windows and doors should be retained or reinserted.

The traditional height of boundary walls and fencing between housing should be retained.

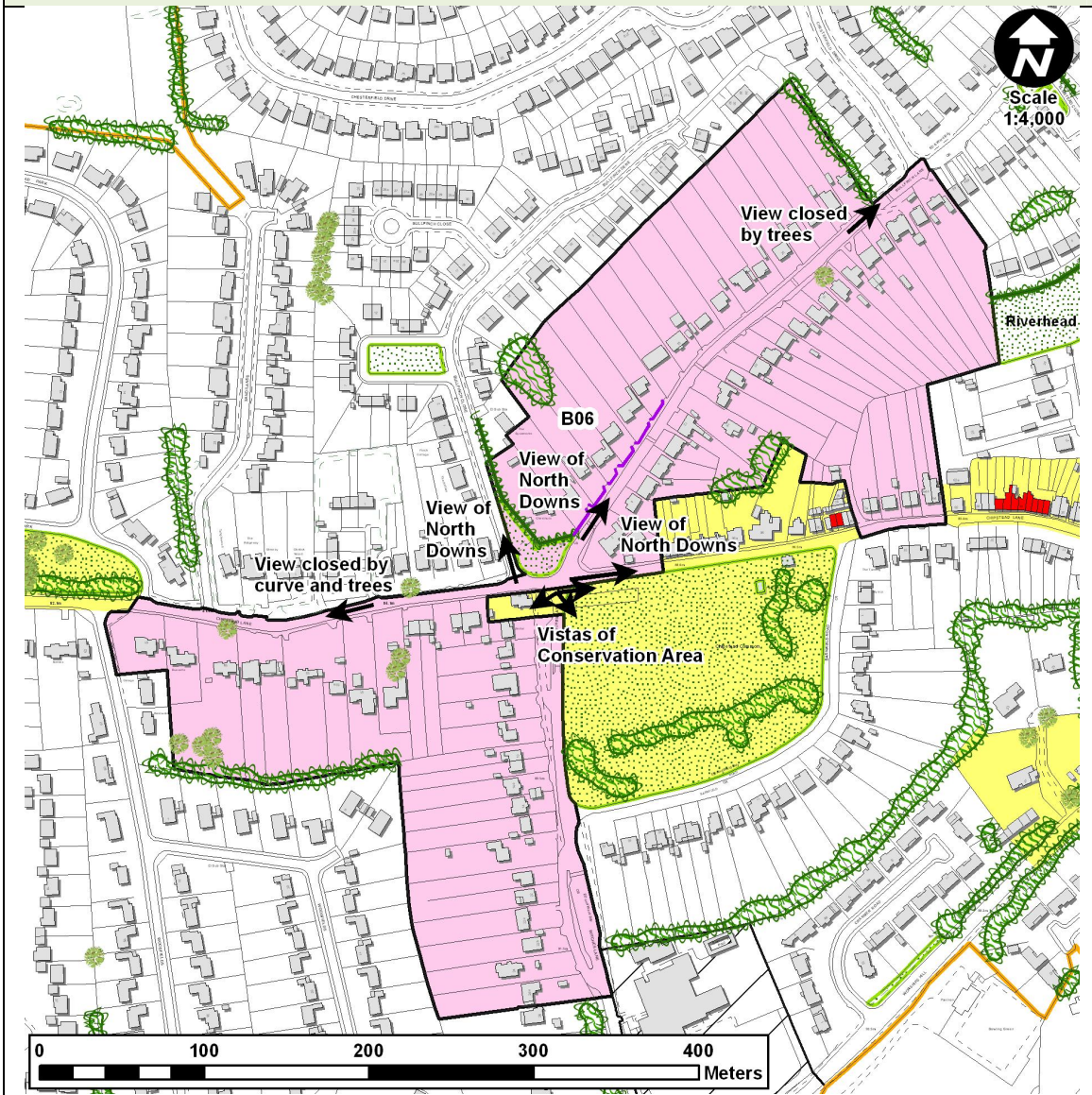
B06 – BULLFINCH LANE AREA

Comprising Bullfinch Lane (part), Witches Lane (part) and Chipstead Lane (part)

HISTORICAL CONTEXT

In the 19th Century this section of Chipstead Lane was a private driveway through the Chipstead estate. The lodge, still standing at the junction with Witches Lane, marked the entrance to the estate. Bullfinch Lane was then known as Sandy Lane. All three lanes were developed during the 1920s and 1930s.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1920 - 1930s
Type of buildings	Detached with some semi-detached
Main uses	Residential
Building heights	One and two storeys
Prominent building materials	Variety of bricks, white painted render, half timbering, hung tiles, brown roof tiles
Predominant boundary treatments	Hedges, stone and brick walls, wooden fences and railings
Open space/ vegetation	Area of grass and trees at entrance to Bullfinch Lane. Views over Chipstead Common.

Area Characteristics



Chipstead Lane and Bullfinch Lane are two gently curving historic lanes which meet at a junction by the Old Lodge (above left). The townscape at this point is open and elevated with long views to the north and east towards the North Downs and shorter views to the south and east across Chipstead Common (above right). From this point, Chipstead Lane (below left) and Bullfinch Lane (below right) dip away and are more enclosed in character with a variety of garden boundaries, trees and hedges enclosing the roads. The houses in Witches Lane are set on the west side of the road only, behind a deep verge and/or service road, facing over Chipstead Common. The set back of the buildings and low scale enhance the open character around the common.



The row of one and two storey properties on Witches Lane are set back on a fairly regular building line behind hedged and treed front boundaries which complement the adjoining Chipstead Common open space.



Detached and a few semi-detached houses are set back from the street on a slightly uneven building line within deep plots enclosed by a variety of walls, hedges, wooden fences and railings. Many are partially obscured by high hedges. The houses are individually designed with a few repeats and retain many original features from the 1920s and 1930s including hipped roofs, front facing gables, curved and square bays, round windows, chimneys, porches including curved recessed porches, and a variety of decorative finishes including brick, painted render, half timbering, hung tiles, and contrast brickwork.

The interwar layout, architecture and design details have been particularly well retained in Bullfinch Lane giving a distinctive and cohesive character. There has been more alteration and infill development in Chipstead Lane and Witches Lane.





A row of white painted 1920s bungalows of uniform design with crested, castellated front porches and tall narrow chimneys, form a distinctive group in Bullfinch Lane.

The old wall enclosing the west side of Bullfinch Lane is an important townscape feature.

Landscape



A grassed open space at the southern end of Bullfinch Lane is an important landscape feature enhancing the setting of the Old Lodge and the Chipstead Common Conservation Area.

Locally Distinctive Positive Features

Detached, and a few semi-detached, houses set back from the road

Enclosed character of Bullfinch Lane and Chipstead Lane due to garden boundaries of walls, hedges (some high), fences and railings

Open, elevated character of Witches Lane enhanced by set back of single row of buildings behind gardens, verges and service road, looking over Chipstead Common

Variety of inter-war designs incorporating a range of features typical of the period including hipped roofs, gable ends, porches, chimneys, bay, round and leaded light windows. Retention of decorative finishes including a variety of brick, painted render, half timber, hung tiles and contrast brickwork

Distinctive group of bungalows in Bullfinch Lane

Long views towards the North Downs to the north and east

Shorter views and vistas across Chipstead Common, of tree belts and the adjoining Chipstead Conservation Area. Vista of the Old Lodge which provides a link with the history of the area

Open space at the southern end of Bullfinch Lane

Wall at southern end of Bullfinch Lane.

Negative Features

Some dilution of character in Chipstead Lane and Witches Lane through alteration and infill development

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

There may be pressure for extensions to existing buildings.

In proposing new development within the Bullfinch Lane Area Character Area:

Development should be set back from the road

Traditional detailing should be retained

Open space at the southern end of Bullfinch Lane should be protected

The character of the wall at southern end of Bullfinch Lane should be retained

The setting of the adjoining Chipstead Conservation Area should be protected or enhanced

Views of the North Downs and Chipstead Common should be protected

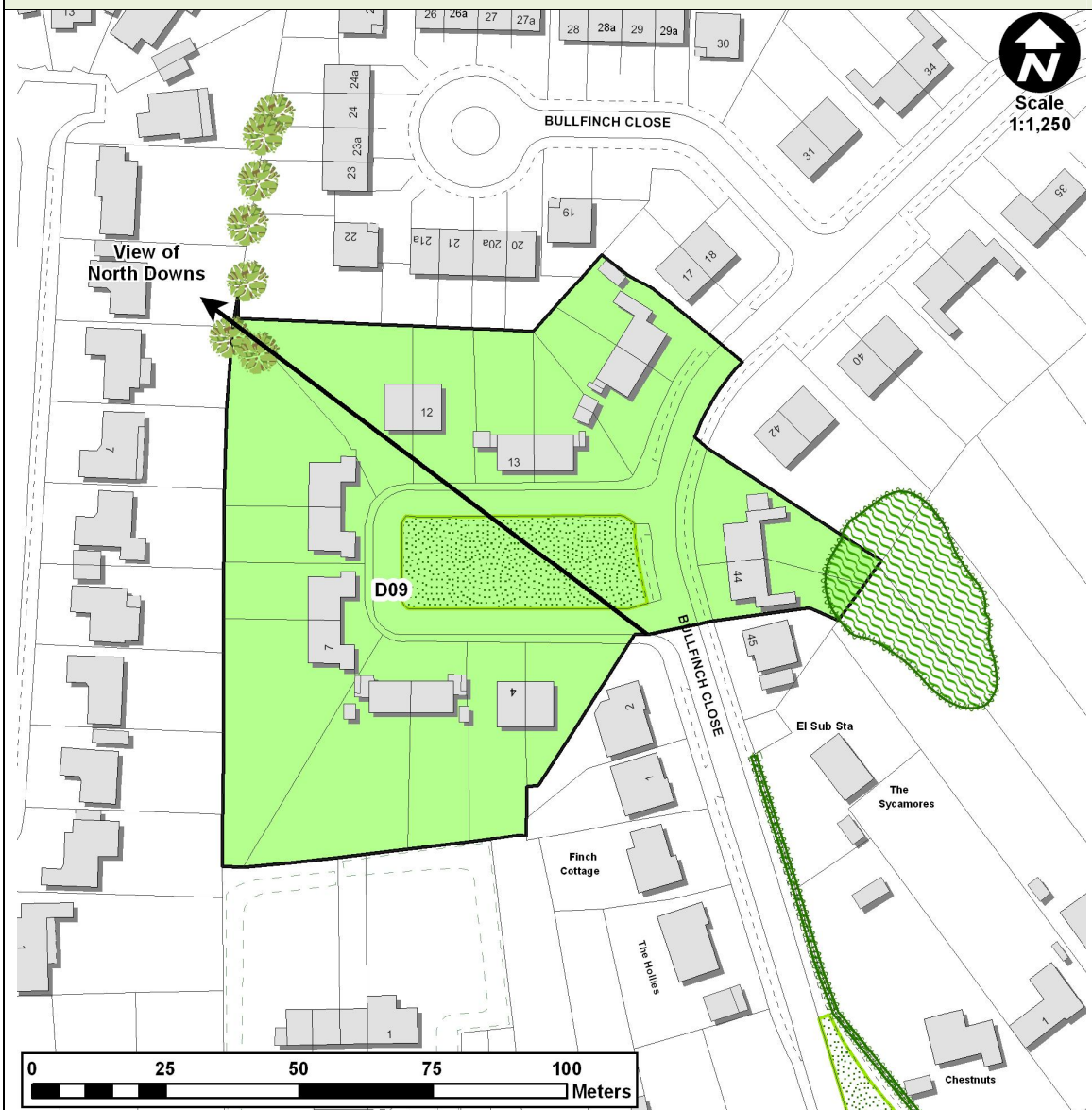
D09 - BULLFINCH CLOSE WEST

Comprising Bullfinch Close (west)

HISTORICAL CONTEXT

The set piece square around the amenity open space is retained as the only remaining part of the 1950s properties previously located along Bullfinch Close which have been redeveloped in recent years.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1950's to present day
Type of buildings	Semi detached and terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Mainly white/ pastel render with brown tiles – some red brick
Predominant boundary treatments	Hedge and picket fence
Open space/ vegetation	Amenity open space at the centre of 1950s square. Views of the North Downs.

Area Characteristics



Two storey terraced and semi-detached houses with hipped, tiled roofs face on to the central amenity space.

The symmetrical designs of render and brick houses are set back on a relatively regular building line behind enclosed front gardens.

Trees frame the view and enclose the development to the west.

The development has no garages, with parking found around the green.

Landscape



The amenity open space at the centre of the 1950s 'square' is typical of the planned layouts of this period and provides a break in the built form and a contrast to the adjoining built up area.

Views

A view of the North Downs is available to the north western corner of the site providing a backdrop and verdant setting to this set piece.



Detractor

The surface of the footpath at the edge of the amenity open space is in poor condition.



Locally Distinctive Positive Features

Unity of the two storey houses arranged around the green

Repeated building designs on a relatively regular building line give a uniform character and sense of place with little harm from unsympathetic additions, alterations or materials

Consistent use of materials including white/ pastel render and red brick, brown plain tiled roofs and white window frames

The amenity open space at the centre of the 1950s 'square'

Landscaped front gardens are enclosed by hedgers and picket fences

Belt of trees to the west

Views of the North Downs

Negative Features

Surface of the footpath at the edge of the amenity open space

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Bullfinch Road west Character Area:

The unity of the two storey houses arranged around the green should be respected

Development should be set back from the road

The harmonious palette of white/ pastel render, red brick and brown plain tiled roofs should be respected

The characteristic designs and roof profile should be respected

Mature trees, hedge boundaries and open space which contribute to the character of the area should be retained

Views of the North Downs should be protected

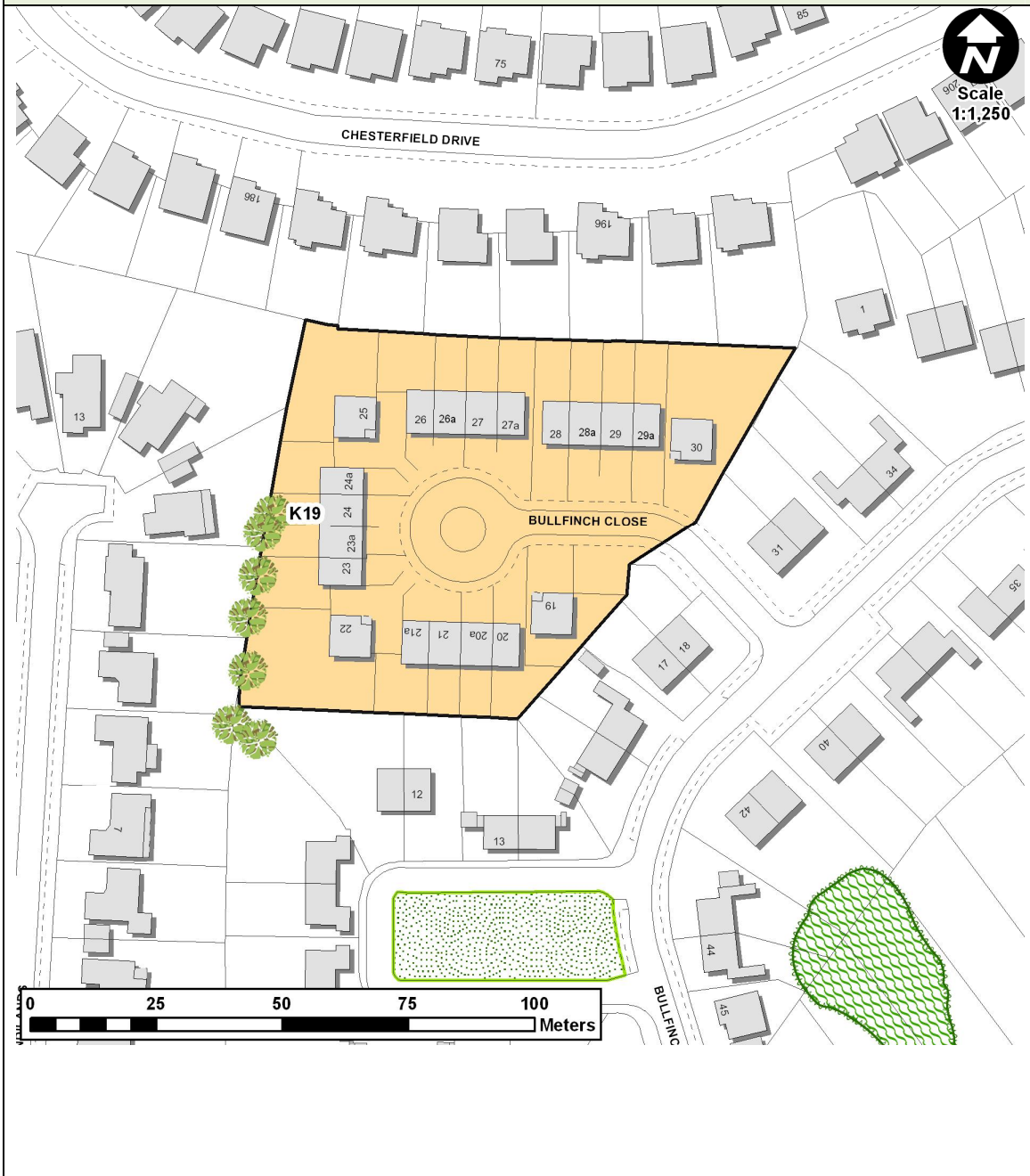
K19 BULLFINCH CLOSE WEST

Comprising Bullfinch Close (part)

HISTORICAL CONTEXT

The modern square has recently been developed as part of the redevelopment of the 1950s housing in Bullfinch Close.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1990's+
Type of buildings	Semi detached and terraced
Main uses	Residential
Building heights	Two storeys
Prominent building materials	Red and yellow brick and red tiled roofs
Predominant boundary treatments	None
Open space/ vegetation	None

Area Characteristics

Locally Distinctive Positive Features
<p>Unity of the two storey houses arranged around the cul de sac turning head</p> <p>Repeated building designs on a regular building line give a uniform character and sense of place with little harm from unsympathetic additions, alterations or materials</p> <p>Consistent use of materials including red and yellow brick and red plain tiled roofs and white window frames</p>

Mature trees which contribute to the character of the area should be retained



The redeveloped part of Bullfinch Close has echoes of the planned 1950's 'square' with symmetrical groups of two storey houses set back from the road on a regular building line with hipped roofs, use of a limited harmonious range of materials and arranged in a 'square' around the turning head of the cul de sac. The alternating use of contrasting red and yellow brick details adds interest to the design.

Some trees are visible above the roofline to the west.

Negative Features

No significant detractors

Design Guidance

The grain of the area with substantially built up frontages leaves little scope for new development and the area is likely to remain largely unchanged over time.

In proposing new development within the Bullfinch Close west Character Area:

The unity of the two storey houses arranged around the cul de sac should be respected

Development should be set back from the road

The harmonious palette of red and yellow brick and red plain tiled roofs should be respected

The characteristic designs and roof profile should be respected

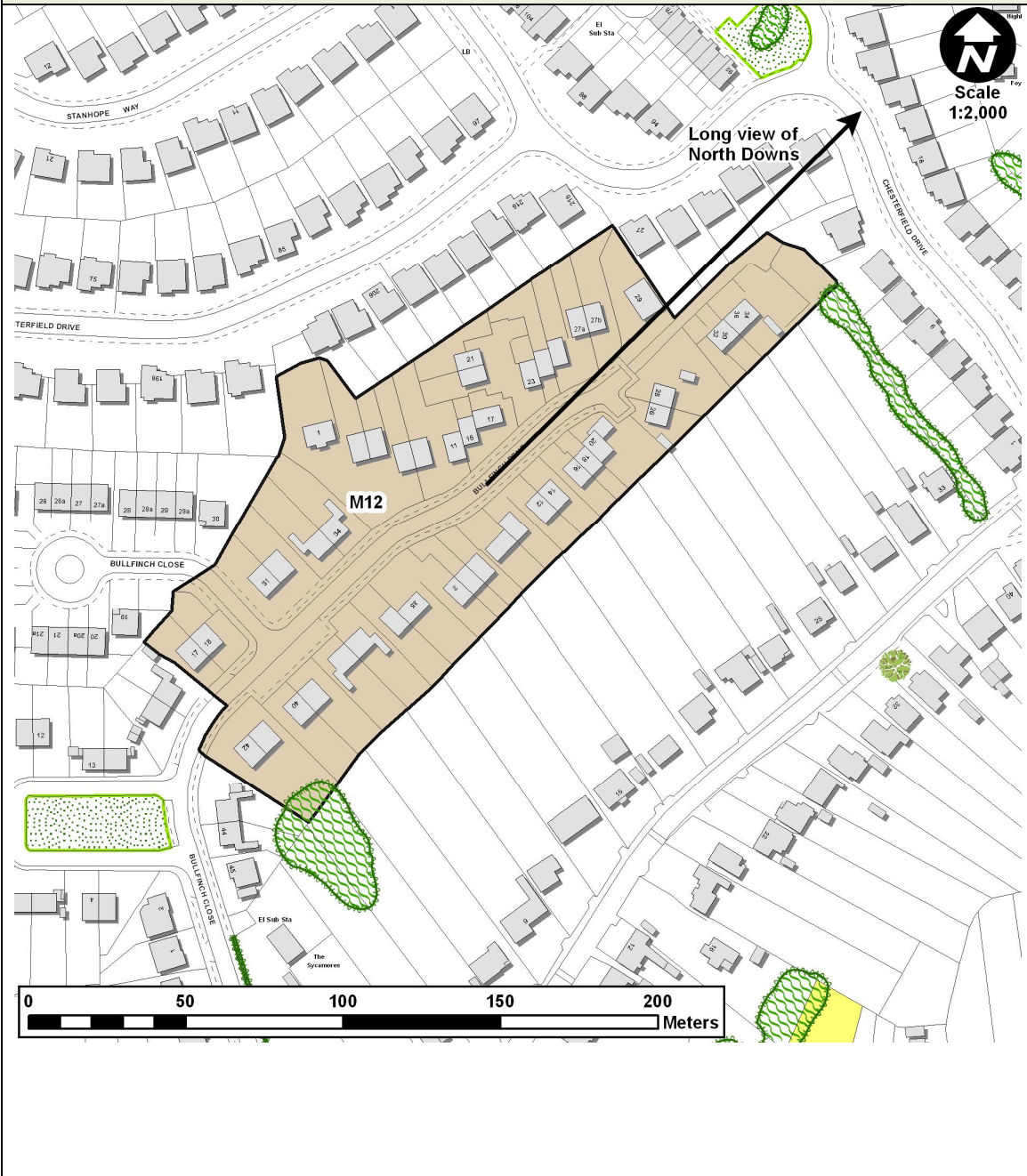
M12 BULLFINCH DENE

Comprising Bullfinch Dene

HISTORICAL CONTEXT

The 1950s development of Bullfinch Close has been redeveloped in recent years.

TOWNSCAPE MAP



Locally Distinctive Contextual Features	
Age of buildings	1950's to present day
Type of buildings	Semi detached and terraced
Main uses	Residential
Building heights	Two storeys with one bungalow
Prominent building materials	Red/orange and yellow brick wit red and brown roof tiles
Predominant boundary treatments	Low wooden post and rail fence
Open space/ vegetation	Views of the North Downs.

Area Characteristics



The two storey houses are clustered around the gently curved cul-de-sac behind open landscaped grass frontages and driveways. The houses are of repeated or cohesive designs with yellow brick elevations and red brick details, and vice versa,. Red or brown roofs, some of which are half hipped others have forward facing gables, provide an interesting roof line. The consistent designs, colours and details create a cohesive and distinctive character.

Views



The houses are clustered at angles to the road. The gently curved street does not prevent long views above the roofline. The area has an inward looking quiet residential character.

A single bungalow occupies the end of the cul de sac.

Long views of the North Downs are available along Bullfinch Dene above and between the roofs of the two storey houses



Locally Distinctive Positive Features

Clustered houses informally arranged around a cul-de-sac behind paved driveways and soft landscaping

Traditional materials represent the local vernacular with traditional brick, tile and roof details

Repeated designs contribute to a cohesive character

Inward looking, quiet residential character with no through traffic

Views of the North Downs

Negative Features

No significant detractors

Design Guidance

The area has evolved through redevelopment. The close siting of development means there is limited opportunity for further development.

In proposing new development within the Bullfinch Dene Character Area:

The harmonious palette of yellow brick with red brick details, red brick with yellow detail and red or brown roof tiles should be respected

Views of the North Downs should be protected

Individual buildings should be of a high standard of intrinsic design quality

The unity of the two storey houses arranged around the green and the Bullfinch Close cul de sac turning head should be respected

The amenity open space at the centre of the 1950s 'square' should be protected

Mature trees and hedges important to the character of the area should be protected

Views of the North Downs should be protected